

ARTICLE 18 B1 CENTRAL BUSINESS DISTRICT STANDARDS

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18.01 Applicability

18.01.01 Development in the B1 Central Business District shall meet the standards set forth in this Article and, except as provided herein, the standards set forth elsewhere in UDO; *provided, however,* that this Article does not apply to any dwelling regulated under the North Carolina Residential Code for One and Two Family Dwellings unless the dwelling has been designated as a local, state, or national historic landmark or is located within a local historic district.

(Ord. PL01390-032818, 04-26-2018)

18.02 Design Standards

18.02.01 Purpose: For purposes of this Section the term “historic” shall mean any building, building material, or feature fifty years or older as of May 1, 2018.

18.02.02 Exterior Facades

A. Relationship to UDO Article 25 Community Appearance Standards

1. Exterior facades in the B1 Central Business District are exempt from meeting the following requirements of UDO Article 25:
 - a. UDO Subsection 25.02.01 Pedestrian Orientation; and
 - b. UDO Subsection 25.02.02 Exterior Walls; and
 - c. UDO Subsection 25.02.03 Roofs; and
 - d. UDO Subsection 25.02.04 Materials.

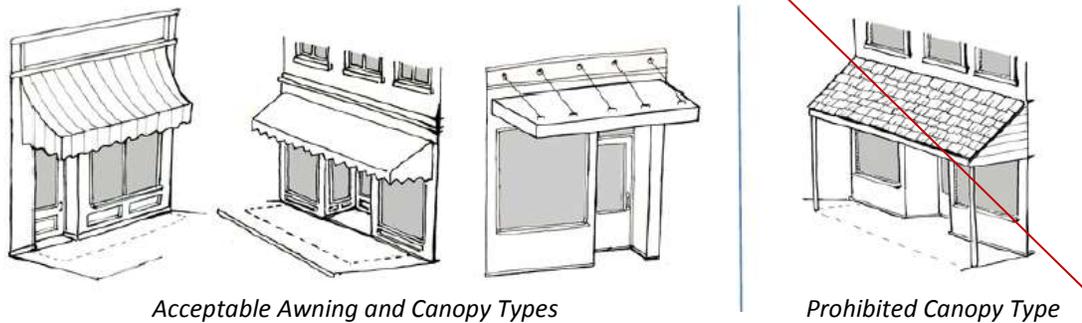
B. Design Standards for Renovation of Existing Buildings

1. **General Considerations:** A building may need renovation for a number of reasons. A building may be in poor condition, or may have been insensitively remodeled in the past. Similarly, certain changes may be desired in order to add either modern conveniences to a building or to bring the building up to current building code standards. Renovations to existing historic buildings shall be consistent with the following guidelines:
 - a. Distinctive or historic materials, features, finishes, construction techniques or examples of building craftsmanship of a building shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property shall be avoided.

- i. Applicants shall identify, retain and preserve masonry features that are important in defining the overall historic character of the building (such as walls, brackets, railings, cornices, window and door surrounds, steps and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings and color.
 - ii. Applicants shall identify, retain and preserve wood features that are important in defining the overall historic character of the building (such as siding, cornices, brackets, window and door surrounds, and steps) and their paints, finishes and colors.
 - iii. Applicants shall identify, retain and preserve storefronts and their functional and decorative features that are important in defining the overall historic character of the building. The storefront materials (including wood, masonry, metals, ceramic tile, clear glass, and pigmented structural glass) and the configuration of the storefront are significant, as are features, such as display windows, base panels, bulkheads, signs, doors, transoms, kick plates, corner posts, piers, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other more recent, non-historic or insignificant alterations can help reveal the historic character of the storefront.
 - b. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinct feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
2. Exterior Building Materials:
 - a. Acceptable Building Materials: A historic material found on the existing building used for the same purpose or location will be found to be acceptable. Where necessary or desirable due to lack of historic materials, equivalency of alternative materials, or other reasons demonstrated to the satisfaction of the Administrator, applicants may use a compatible substitute material that reproduces the overall appearance and aesthetic of the historic material.
3. The installation of awnings or canopies (above first story uses or between the first and second stories as shown in Graphic 18.08.02(B) below) shall be allowed if the installation does not compromise any historic feature of the building. For example, an awning or canopy would be required to be placed so as to not compromise any transom or clerestory window historic to a building. Awning and canopy criteria include:
 - a. Only the following types of awnings or canopies are permitted (examples shown in Graphic 18.08.02(B) below):
 - i. Metal frame awnings covered with non-shiny UV protected cloth (such as canvas); or

- ii. Cable-hung metal canopies;
- b. Acceptable colors for awnings and canopies are the same as those outlined for accent colors.
- c. Vertical supports that interrupt the sidewalk are prohibited, as detailed in Graphic 18.08.02(B) below.
- d. An awning or canopy may be no less than eight feet (8') at their lowest point above any public sidewalk

Graphic 18.02.02(B) Awnings and Canopies



- 4. Non-historic buildings (building built less than fifty years ago) in the B1 shall be renovated in accordance with the standards set forth in Subsection 18.02.02(C).

C. Design Standards for Additions and New Construction: The standards below apply to the primary and secondary facades and to other portions of an addition or new construction project that are publicly visible as defined in UDO Subsection 25.01.01.

1. General Considerations:

- a. Orientation: Orientation refers to the direction in which the primary façade and the main building entry faces the public street.
 - i. In order to maintain the rhythm and balance established by the orientation of existing buildings, new construction should be consistent with the historic pattern of building orientation established by adjacent and/or nearby buildings (in the block or across the street) within the district.
 - ii. For buildings on interior lots, the facade of a new building shall be oriented to the street onto which the lot faces.
 - iii. Buildings on corner lots shall be oriented and designed to give architectural emphasis to the façade oriented to the primary public way or, if more than one facade face significant public ways, to architecturally emphasize all such as primary facades.

- b. Rhythm and Proportion. Because rhythm and proportion are critical elements in an architectural composition, it is vital that applicants understand and employ these principles when planning and designing additions and new construction. By following these principles, a project is more likely to achieve compatibility with the historic context of the downtown area. The principles of rhythm and proportion—which may refer to an individual building on one lot or several buildings that comprise a streetscape—are important to ensuring that additions and new construction projects are compatible with the surrounding neighborhood.
 - i. Rhythm refers to the regular, or rhythmic, occurrence of building elements such as windows and doors across a facade. Rhythm also refers to the pattern of buildings along a street.
 - a. The rhythm and placement of window and door openings shall be designed to be similar or compatible with those of nearby facades in same block or the block across the street in the district.
 - b. Window and door openings shall be sized and proportioned to be similar to or compatible with those on nearby facades (same block or block across the street). Commercial storefronts will often have more horizontal elements and a higher ratio of window-to-wall than the upper stories of the same building.
 - ii. Proportion refers to a relationship between building elements with respect to size and/or quantity. Proportion also refers to the height of a building in relation to its width and the dimensions of the structure in relation to the dimension of nearby buildings (same block or block across the street).
 - a. Buildings shall be designed with proportions that are similar to nearby buildings (same block or block across the street) in the district.
- c. New construction should be compatible with the dominant architectural characteristics of nearby buildings (same block or block across the street) in the district.
- d. Additions shall not destroy historic materials, features, and spatial relationships that characterize the property. Additions will be differentiated from any historic building and compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

- e. Larger buildings shall be designed to create an overall design that is consistent with the proportions and rhythm of nearby buildings. Often new buildings are proposed for construction on sites much larger than the traditionally smaller sized lots in downtown. These new structures can translate into buildings whose mass and scale overwhelm neighboring existing buildings. Therefore, new construction must employ design techniques to reduce its visual presence with respect to the existing buildings in the immediate context. Varied façade wall planes, differing materials, stepped-back upper levels and irregular or additive massing help mitigate the impact of larger buildings on the existing area. The foregoing and/or the following design techniques shall be employed to create an overall building design that is consistent with the proportions and rhythm of nearby buildings:
 - i. Varying the surface planes of large buildings is a way to make the structure more consistent with the design of smaller-scaled historic structures in the surrounding area. In order to successfully mitigate the impact of a larger building the difference between the surface planes may be a little as one foot or greater than ten feet.
 - ii. Breaking up the roofline of a large building into smaller components may help the perceived mass of large buildings.
 - iii. Where necessary and appropriate, creating bay divisions on the façades of large buildings allows the building to reflect the massing of smaller-scaled historic structures.
2. **Exterior Materials.** Materials shall be highly durable and easily maintained, especially at the pedestrian level.
- a. Acceptable Building Materials:
 - i. Acceptable building materials are historic materials found on one or more historic building on the same block or block across the street. Applicants may use a compatible substitute material that can reproduce the overall appearance and aesthetic of the historic material.
 - ii. Real brick consistent in color, size, texture, and mortar with historic brick buildings in the B1 Central Business District.
 - iii. Real stone consistent in color, size, and mortar with historic stone buildings in the B1 Central Business District.
 - iv. Stucco finishes are not allowed on primary or secondary facades but are allowed on other façades so long as the stucco reflects historic examples found in the B1 Central Business District and is not the primary building material.
 - b. Prohibited Building Materials: The following exterior building materials are prohibited:
 - i. Fiber-cement, metal, wood or vinyl siding

- ii. FRC, PVC composites
 - iii. Glass Curtain Walls
 - iv. Concrete Blocks
 - v. Mirrored Glass
 - vi. Concrete simulated brick or stone (cultured stone)
 - vii. Stacked stone with no mortar
 - viii. Thin-stacked stone
- c. Exceptions for prohibited materials: An otherwise prohibited material may be used in an addition if the applicant demonstrates that the same material was a historic material used for the existing building.

(Ord. PL01390-032818, 04-26-2018; Ord. PL02337-030719, 05-09-2019)